

GENERAL REMINDERS

1. Professors will be responsible to self-jury their students and only submit the best two projects (2) per independently taught class/studio for judging in this competition
2. All final submittals are to be sent to: design4next@gmail.com All submittals are due by December 8th.
3. Submittals must be in PDF format and be **no greater than 20MB in file size** (no min/max on number of pages)
4. As a reminder, all student participants must be currently registered as juniors or seniors in their design program, or in a 5-year master's program where there is no bachelor's degree offered or a master's program where the students have no bachelor's degree in design or other previous design experience.
5. Students must submit an entry as an individual, not as part of a team.
6. ALL updated plans and program information are posted on our competition website: www.steelcase.com/design4next Please make sure you have downloaded the latest information.
7. **All questions must be submitted by October 1st** and all questions must be submitted to: design4next@steelcase.com
8. Each student participating **MUST individually register no later than October 1st** to be considered eligible. Students can register by going to this link: [NEXT Registration link](#)

(NEW): Q+A QUESTIONS + ANSWERS – Questions submitted through October 1, 2021

Q: For the Retail Mock-up Space, is the intention that this would be open to all employees (i.e., open to the WorkCafe for all employee feedback or knowledge) or only to those employees working in the retail areas for prototyping?

A: The Retail Mock-up Space could be available to anyone who works for NEXT; however, it would be more applicable to certain groups/departments than others (ie: Sales and Marketing) but not limited to those groups for use if others have a need for this space.

Q: Are the columns in the space concrete columns?

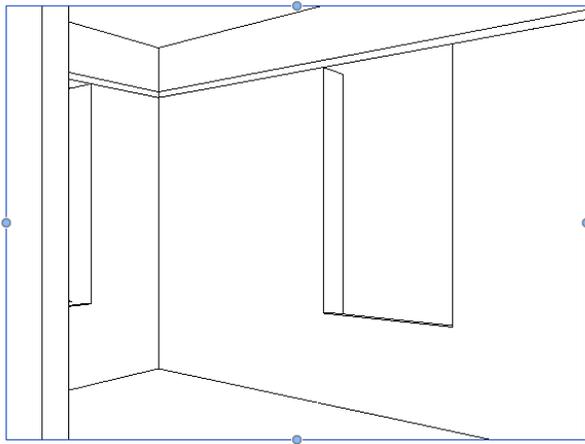
A: YES, all of the columns are concrete.

Q: In the submission requirements section, it states that we need to include “Clear explanation and visuals of how your research-informed your Evidence-Based Design solution”, is there anything in particular that we should include? (Not sure if this question needs to be directed to Steelcase...I am wondering if this means evidence like case studies?) (Does this pertain to the client's profile?)

A: How this is shown/articulated is at the discretion of each program. The thought behind this request is to have each student “show their work and show their exploration and process” of taking their research to concept to design/application. This is helpful for judges who will be reviewing these projects on their computers to understand your

process without the ability of the student to verbally communicate it. Please review the submissions from last year's winner and four additional semifinalists on our competition website to see how they did this ([NEXT website](#)); however, please know these are examples only and we are not advocating you do it the same way as they have done.

Q: On the 7th floor there is a recess on the West wall on the southern end as well recesses on the South wall on the eastern portion, could they be furred out if necessary?



A: Yes, that would be permitted.

Q: The restroom shown on the 8th floor plan appears inadequate for an Assembly Occupancy, which might be the occupancy for large events on this level. Are we to assume that this code issue will be resolved outside the project scope? Or must students add restrooms to the 8th floor plan within the tenant space?

A: The restrooms are out of scope for this competition...nothing needs to be added. You are correct that this would need to be revised in reality; however, we remove restrooms and core building elements from this competition because we want the students on focusing all their attention and creativity on the workplace design instead.

Q: When working in Revit and cutting a section through the building, there is a 7th floor level at elevation 0, a 7th floor raised level at 1'-0", and the 8th floor at 12'-0". In the building information, it states that the slab to slab dimension is 11'-6". However, the section creates an 11'-0" slab to slab dimension. Which dimension are we to use; Revit file or building information? This is also causing the doors and the columns to be off at the bases. (See attached images.)

A: The actual built environment for the space that was used for this competition has a raised floor installed. That was removed for this competition and that must have affected the Revit files accordingly. Our apologies for any inconvenience this is causing your students. For this competition, please use the dimensions as stated in the "Contest Overview + Program document" on page 5. The slab to slab dimension should be 11'-6".

Q: If the raised floor on the 7th level was not actually removed, as it appears to be for us. Do we leave it as is? If so, then the floor to ceiling will be 11'-0". Is that Ok in terms of the requirements?

Q: If we are required to remove the raised floor to maintain the 11'-6" slab to slab then we will have to make the same adjustments for the column and all the other things that currently touch the floor. I guess the basic question is do we remove the raised floor or do we leave it as is?

A: Concerning the Revit file on the 7th floor and raised floor conditions, the students may maintain as is at 11'-0" slab to slab with the raised floor or if they have already revised their Revit drawings to match the stated 11'-6" slab to slab dimensions, either option is permitted. We do not wish to have students do any additional and unnecessary work on

the Revit file/slab to slab dimensions if they haven't already addressed this. The final dimension used by students will not be an evaluation criteria for the competition.

Q: Can the Wild Card Space square footage be divided into multiple spaces that total the allowed square footage?

A: There is no total allowed SF stated for the Wild Card space. The square footage for this space is to be determined by the student. If your student wishes to divide their Wild Card space into multiple spaces, that is allowed since we have not put any parameters on this space.

Q: Can the spaces be divided into multiple spaces, for example, the Retail Space and the Product Storage Space?

A: If this meets your design intent and the requirements of the required spaces have been met, then yes; however, please note, each space that is divided must meet the originally stated square footage requirements for those spaces.

Q: Can we use the rooftop for our wildcard space?

A: No. There is plenty of flexibility provided in the plan for this.

Q: Can we remove any wall panels in the existing conditions?

A: No. The existing walls are either on the perimeter to the exterior or against the NIC areas. They should remain.

Q: Can we change any existing doors? Mainly the ones going to the deck?

A: There is only one location where we have allowed a door change that has been provided in the Q+A we have already published. Please review. No doors to the deck may be changed.

Q: On the 8th floor, where do the south facing doors lead too?

A: The doors that are south facing all lead to NIC areas to either the south terrace that is NIC or other interior NIC areas.

Q: Can we remove/infill any of the existing interior doors on the 8th floor? Mainly the two double doors opening into the adjacent hatched area.

A: As mentioned above, all doors are to remain with the exception of the one location we indicated where the door could be moved in the prior Q+A. Please review.

Q: The existing building has skylights. In the Q&A, it is stated that students may not add skylights. But what about the existing skylights? Can students continue to design natural lighting with the existing skylights as shown in Google Earth?

A: The existing skylights should remain and are intended to be incorporated into the design as you've articulated. We want the students to work with the existing condition versus adding additional skylights; therefore, no skylights should be added. Does this answer your question?

Q: Can the small conference rooms/enclaves be open or do they need to be enclosed?

A: These should be enclosed spaces. As mentioned, these are to be used when privacy is needed and/or when focus work away from the open plan work setting is needed. These spaces would also be used for video calls and having it enclosed would be beneficial to not disrupt others in the open. Please consider providing a variety of solution options for these spaces to provide a diversity of choice based on different user needs and/or posture choice. For similar

workspaces, you are free to provide small teaming spaces in additional open areas or adjacent to team/department spaces where privacy is not needed. The WorkCafe is another space where these types of spaces would be useful.

Q: Is there a restriction on the furniture used in the "workstations"? Can this be a lounge chair with a side table? A table and chairs? Or does it need to be a traditional desk?

A: These "Open Office / Individual Work Areas" are intended to be a primary work zone for individuals (as noted 27 are assigned and 15 are unassigned/shared); however, regardless if owned or shared they need to support someone and their work process. The space allocation for these is a minimum 36 SF per user and an ergonomic ("office chair") would be more appropriate for longer term sit and posture than a lounge chair and side table. There is plenty of opportunity to provide informal/ancillary spaces like you are describing for in-between spaces or social spaces that are more temporary use. Regarding "traditional desk", there are numerous options available as inspiration in our Planning Ideas section of our website. We have options that are more conventional and all the way to very progressive. You might search our options by using the (Benching + Desking) or (Panel Systems + Beam) options in the (Setting) grouping of the Planning Ideas resource.

Q: Do we still plan around, for example, the 8th floor restroom? Or can we place a room there even if the shaded outdoor that leads to a restroom is there?

A: No. As mentioned in our published Q+A to date, this area is considered NIC and should not be modified.

Q: Can we add more windows?

A: No.

Q: Because some employees will be working remotely, do we need to provide two digital screens in a conference room? Assuming those physically present are using a digital screen to present, so another one would be needed for those working remotely to be able to join in on the meeting?

A: That would be a good idea. As stated in the program document, there is a need for video calls and/or telepresence meetings in certain settings.

Q: Since this is a hybrid in-person and work from home space, what is the average number of employees present in the office every day?

A: Undetermined, please plan to accommodate the number of employees and number of required spaces as mentioned in the program document.

Q: What is the 8th floor terrace railing like? Can we change it out?

A: Here are two pictures that shows the railing on the north terrace on the 8th floor.



Q: Are there bathrooms on the 8th floor?

A: YES. Please review the plan and also review the prior published Q+A as there are responses regarding the bathroom on the the 8th floor. Also, this bathroom is in the NIC area.

Q: Are we allowed to move the existing structural columns?

A: NO

Q: Are section cuts or elevations views needed for final project, or just the floor plan itself?

A: Please see #19. on page 3 of the “2021 Contest Background and Judging Criteria. This lists everything that is required with the submission; however, to answer your question, this is what it states:

- A minimum of one elevation section is required to illustrate the stair design and how the 7th and 8th floor flow together

Q: Do we need to specify any sort of ADA specifications on floor plan?

A: NO; however, all ADA codes and guidelines should be met. Also, please review the already published Q+A regarding a question regarding ADA and/or equal access.

Q: Is the Retail Mockup Space intended to be open to visitors of the building or more for employee use?

A: This space is intended for employees – it is not a retail location that is open to the public. This is a space where the NEXT team will mock-up and test different retail ideas/concepts that will go into retail stores.

Q: There are doors on the 8th floor leading to spaces that are NIC. Do we need to maintain access to them? It seems to make sense to maintain the access to the bathroom, but we are questioning the access to the south terrace.

A: Per our responses in the prior published Q+A, these doors are to remain and no modifications should be made to the NIC areas.

Q: Do the Photo and Video Studio require controlled artificial lighting or a mix of artificial and natural lighting options?

A: There is no RCP required for this space. Students may make any assumptions here on their lighting choices.

Q: What history about the building can be shared?

A: We have no building history. This is not part of the scope for this interior design competition and students may make any assumptions here.

Q: Are there any images of the 7th and 8th floors that can be shared? Particularly the views standing in the space and looking outside.

A: Here are views we have looking out from the 7th floor:



Looking out the north windows angled to the NE



Looking out the northeast corner.



Looking out the northeast corner.



Looking out the north windows.

Q: Can skylights or other roof penetrations be suggested?

A: Please see the already published Q+A regarding skylights. The existing skylights should remain; however, no new skylights may be added.

Q: We assume the columns unalign intentionally per the Revit model?

A: Please leave the columns as they are in the Revit file.

Q: Please confirm any specified flooring, wallcoverings and wall coatings, ceiling finishes, etc fall do not fall into the 20% of custom since Steelcase does not offer these applications of surfaces?

A: These are completely left to the discretion of the student. The 20% custom only falls within specified (furniture).

Q: Are we able to specify materials and surfaces that have already been tested on Steelcase products - via Customer's Own Material site - without counting towards the 20% custom allowance?

A: Yes

Q: If we use COM and COS (Customer's own Materials/Surfaces) outside of the pretested materials and surfaces noted on the COM site, does that count towards the maximum 20% custom requirement?

A: No. Surface materials are left to the discretion of the student; however, we have many wonderful finishes provided by Steelcase, Designtex, and Designtex Surface Imaging.

Q: Are the two sets of double doors in the SE corner of the 8th floor required to be operable for the south roof area?

A: Yes.

Q: Given previous answers to the HVAC, we assume we may remove the window sill/shelf/bench on the North and East walls of the 7th floor for the purposes of this competition?

A: This should remain as is.

Q: In lieu of this HVAC system, we will assume and account for another type of perimeter HVAC system in its place.

A: Any additional HVAC is left to the discretion of the student.

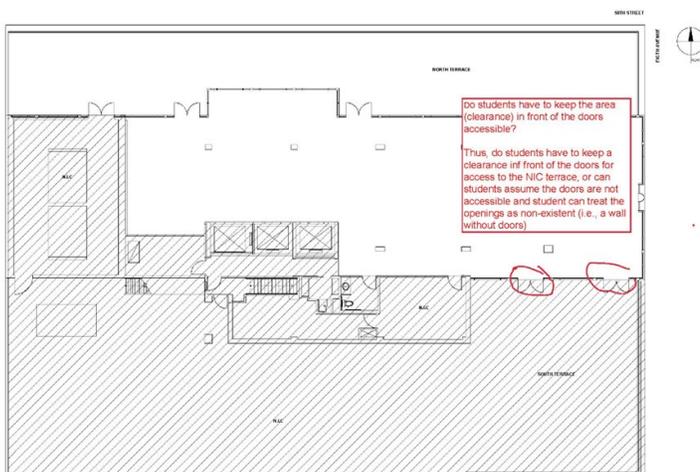
Q: If there are no offices or workstations planned for the 8th floor is it necessary to include a resource room? In this scenario, would it be possible to place two resource spaces on the 7th floor?

A: If you are asking if we are requiring that workstations and/or offices be on the 8th floor, the answer is no. We have no requirements for where required spaces are planned on either floor with the exception of the suggested agencies.

A: Any floor that has workstations and offices must have a resource room on that floor.

A: If your student's design intent is to not have any workstations/offices on the 8th floor, they would be permitted to have both resource rooms be on the 7th floor.

Q: My students would like to know if they need to keep the clearance in front of the doors (keeping the access) to the South Terrace or to assume that the doors are not restricting the use of the wall and may build a space directly in front of the doors (rather than designing a corridor in front of the doors).



A: The doors shown in your graphic should remain. This is the built condition and the NEXT occupants would have access to the south terrace. We only have this area as not in contract (NIC) to reduce the amount of space the students have to design and provide solutions for; however, it is still part of the overall workplace for NEXT – just not in scope for this competition. The doors need to remain and access through these doors should be provided.

Q: If a sink is required for the mock up space, does this mean we have to place this space on the outer wall of the bathrooms due to plumbing?

A: Please assume that plumbing can be routed to any location in the space. We do not want to limit any creativity by confining your students to this location only.

Q: And by extension, do students need to locate any plumbing close to bathrooms, or can plumbing fixtures sit in any location on the floors?

A: Per mention above, plumbing can be in any location.

Q: In piercing the slab between the 7th and 8th floor to place the staircase, are there any limitations in the area of the opening? (other than the logical location of structural beams between columns). Should the opening between 7th and 8th floor be limited to the footprint of the monumental staircase? or can we allow for a larger opening that connects spatially and visually both floors?

A: There are no limitations here other than working within the columns as you have identified.

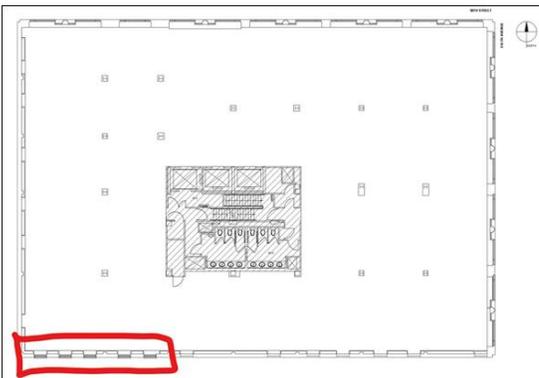
Q: Should we assume that NEXT users with special mobility needs depend on the building's public elevators to move between 7th and 8th floor?, or are students open to explore accessible ways to connect the 7th and 8th floors allowing all users to enjoy the spatial experience of moving between all spaces of NEXT workplace? For instance, small elevators and lifts.

A: That would be allowed.

(NEW): Q+A QUESTIONS + ANSWERS – Questions submitted through September 24, 2021

Q: The windows on the West wall appear to be blocked off by an adjacent building/fire wall, as do some of the windows on the eastern 2/3 of the South wall. Google Earth images seem to indicate adjacent buildings located in this area. On the West wall of the 7th floor, are there any window openings close to the South corner? The adjacent building does not appear to go all the way to the South corner. Can you clarify?

A: Regarding the windows – There are NO windows along the West wall. Along the South wall there are only 5 windows in the Southwest corner. Below shows the location of the windows on the Southwest corner:



Q: On the 8th floor, there are several doors accessing the adjacent space (terrace?). Must we create a common lobby and corridor that is shared on Level 8 to access these doors to the adjacent space that is NIC without going through the NEXT tenant space?

A: There is no need for this. As mentioned in the previously published Q+A, there is no additional tenant on the 8th floor, we merely removed the portion shown as NIC from the scope to reduce the amount of SF the students needed to design for this competition. In reality, the spaces shown as NIC would be used by NEXT.

Q: Are the (2) Wellness, Respite, Relaxation Rooms 200SF per room or is this for the total area for both rooms?

A: 200 SF per room.

Q: Can any structures be added to the outdoor terrace on Level 8 for shade or rain protection? If allowed, could these structures include temporary screens or enclosures for all-season use?

A: No permanent/built structures should be added to the terrace. Please consider placing shades or a canopy. There are a few different options available as outdoor options from Steelcase partners shown on our website.

Q: Can you clarify structural beam locations between columns for coordination with stair openings? We assume existing structural beams cannot be cut. Is that correct, or do we have full latitude to locate the stair opening without regard to structural beams? Since column alignment varies across the plan, there is some confusion where beams may be located.

A: Regarding the structural beams, there is no clear grid expression in the ceiling and it is unclear where they are located. Therefore, for the purpose of this competition, the students may make assumptions and have the latitude to place the stairs wherever it best meets their design intent.

Q: What type of equipment or furnishings might be needed in the video or photography studio (seating for models, prop storage, display table/shelving, a digital workstation, etc.) Can you expand on needs for these spaces?

A: Video and photo studios are a mix of transitional and working spaces.

- Transitional needs are where people, product, props, and equipment are ‘staged’ before and after being on the live set
 - You might expect to find tables and shelving for optional or anticipated items near the set
 - It is also important to support food service – often catered – for working sessions.
- Working spaces are where equipment (lighting, cameras, lenses, etc.) are stored and staged before, during and after a shoot.
 - A desk, chair, storage for memory cards, hard drives, computers, etc.; this is a MUCH bigger deal in video because of high file storage requirements; this can be on a mobile rig like a cart during a shoot.
 - Editing requires neutral color backgrounds, controlled lighting (often dimmable), and editing stations (computer, large monitors, seating, etc.)

Q: What is allowed on the 8th floor north terrace? Can the floor of the terrace be covered in landscape materials like gravel, wood planking, stone pavers, plants, trees, etc.

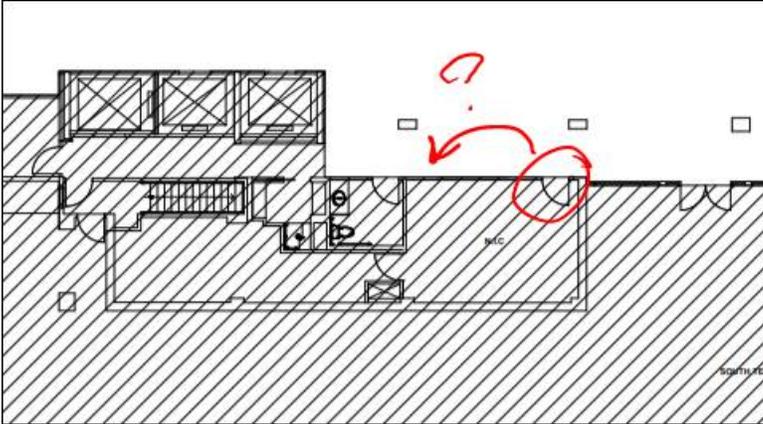
A: What will be reviewed and evaluated on the exterior terrace are the applications/settings of furniture provided for the employees. There is no expectation or evaluation for design of the landscaping or architecture – especially since this is an interior design competition. Your students may choose to do this if they wish; however, any plants/trees must be in pots – not dug into the floor.

Q: What is the weight restriction for the north terrace?

A: Unknown – students may make assumptions here.

Q: Can the 8th floor south wall N.I.C door be moved to opposite side of space? Next to restroom door. Can any other doors be moved from their current location?

A: If this is the location you are requesting to move, then yes.



Q: Do the double doors leading to the south terrace need to be publicly accessible?

A: NO. As mentioned in the previously published Q+A, there is no additional tenant on the 8th floor, we merely removed the portion shown as NIC from the scope to reduce the amount of SF the students needed to design for this competition. In reality, the spaces shown as NIC would be used by NEXT.

Q: Can existing storage N.I.C be used for storage requirements of the client?

A: NO.

Q: Do all offices and other spaces need to be ADA?

A: Yes.

Q: The column on the 8th floor at the left in front of the door does not have a beam in it, can we take it out?

A: If no beam is shown, that may be an error in developing the revit/autocad files. This is actually a beam that is on grid; therefore, it must remain.

Q: How many people will be using these spaces at a time?

- Video studio – 6 to 10 people, no more than 10 would be in the room at any given time.
- Photo studio – 6 to 10 people, no more than 10 would be in the room at any given time.
- Product development room – 6 to 10 people, no more than 10 would be in the room at any given time.
- Retail mockup space – 6 to 12 people, no more than 12 would be in the room at any given time.

Q: I noticed that Post-Pandemic Design is mentioned in the overview (Page 4, 9) and resources (Future of Shared Spaces). However, Covid-19 standards are excluded from the competition purposes at the Q&A. Can you please clarify whether Post-Pandemic design is a design criterion or not?

A: These mentions on page 4 and 9 of the “2021 NEXT Overview + Program” document are merely referencing the workplace in the post-pandemic era – not a reference to Covid-19 safety protocols established for during the pandemic. Pandemic design principles are not a design criteria for this year’s competition.

Q: My question is, does everyone register even though we can only submit 2 projects per class section?

A: Yes, please have each of your students participating register for the competition – individually. Please have them do this before the deadline next Friday (10/1).

Q: Do we need to use just Steelcase design elements? I know the majority should be Steelcase but if there are other components that would benefit our designs, can we use them?

A: Yes, we ask your students to use products from the entire offering of Steelcase brands as well as all of our partner brands. This is the most extensive collection in the contract furniture industry. If there is a solution your students need that for their design (example – massage table if someone decided to provide a massage room for employees in their “wildcard” space, that is something we do not provide. However, if the student is selecting something from a competitor to Steelcase (ie: it is a furniture option we have in our collection (including our partner brands) but just a stylistic difference), then we ask it not be selected since we are the sponsor of this competition.

Q: For clarification, under the requirements for the Resource Centers. The quantity of resource centers is 2 (one for each floor) with requirements of 1 copier/printer, 1 large format printer, a recycling center, etc.

Q: Does this mean these requirements are all included in each Center?

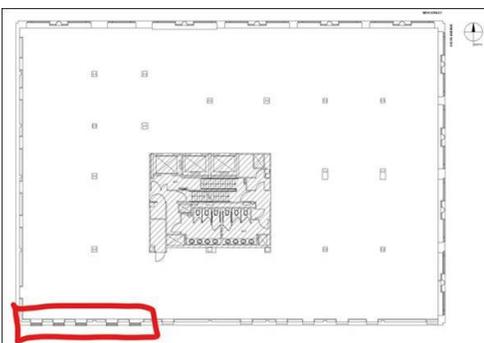
A: Yes, those are the requirements for (both) locations.

Q: A "column" on the 8th floor (C3) does not show any steel/structural component inside the furring. Is this square to be treated as a structural element that cannot be changed/alterd or can it be removed?

A: If no beam is shown, that may be an error in developing the revit/autocad files. This is actually a beam that is on grid; therefore, it must remain.

Q: In the Revit model, the 7th Floor West exterior windows are infilled with a solid. Are these solid wall or window?

A: There are NO windows along the West wall. Along the South wall there are only 5 windows in the Southwest corner. Below shows the location of the windows on the Southwest corner:



Q: If/when cutting the floor for the grand staircase in the "bump out" on the 8th Floor adjacent to the North Terrace do we need to allow for any structure supporting the 8th floor floor/ 7th floor ceiling? Is there a beam running across this area?

A: Assume no structural modifications are needed and have your students work within the existing column grid.

Q: On the 7th floor there are two columns (E6 & E7) that have larger furred out areas. Can these areas of furring be reduced in size so that all of the columns are the same dimensions, or must they remain as is? Are these areas larger because of building systems-i.e. plumbing, electrical chase, etc ?

A: These columns are structurally larger on the 7th floor and are concrete. Therefore, they must be left as the size shown on the drawings.

Q: Is there a specific theme or mantra that Steelcase is focusing on this year?

A: NO

Q: Are we wanted to design/furnish/render the outdoor North terrace on the 8th floor?

A: YES, it is considered in scope.

Q: Are we allowed to combine rooms that are similar such as the small/medium meeting rooms and make them a make-shift room that can be changed according to desired size/task?

A: Student must satisfy the program and required spaces. Regarding a "make-shift" room, this could become the wildcard space that we have included in the program.

Q: What is the exact definition of a retail mock-up space? Is this area somewhere that real customers can come and sample/buy products?

A: This space is where product and marketing teams can mock-up a product display that may be installed in a retailer such as Sephora, Ulta, Target, etc.

Q: Along with the Steelcase furniture, can we add custom made furniture or fixtures?

A: You can add custom, however, we encourage you to keep this to a minimum since this is an interior design competition – not industrial design – and since it is being sponsored by Steelcase. Between Steelcase, all the Steelcase owned brands as well as our many partner brands, we have the most extensive offering in the industry and that provides boundless opportunities for this project. As per the program, custom may not exceed 20% of the designed options.

Q: Are we able to put electrical in or on the outside of the existing columns?

A: Yes, if this meets design criteria.

Q: Can we change the type of glass that is on the windows to better fit our design?

A: NO

Q: What style is the building?

A: Commercial, class A space. You can determine the style by Google Maps or Google earth.

Q: What can you tell us about the company itself (Branding, colors, history, etc.) to be able to bring into the design?

A: This is a fictitious client. Therefore, students can make any and all assumptions here. Regarding history, as mentioned in the program brief, this is a start up brand. Any additional assumptions may be made to fit your design intent. The primary goal is meeting the clients stated business and design drivers.

Q: Is the 8th floor the top floor of the building?

A: YES

Q: Can we add walls, dividers, sun shades or anything else to the terrace?

A: No permanent/built structures should be added to the terrace. You could consider placing shades or a canopy or movable screens. There are a few different options available as outdoor options from Steelcase partners shown on our website.

Q: Is there any information you can share about the building placement in the city?

A: This can be determined by a Google Maps/Google earth search

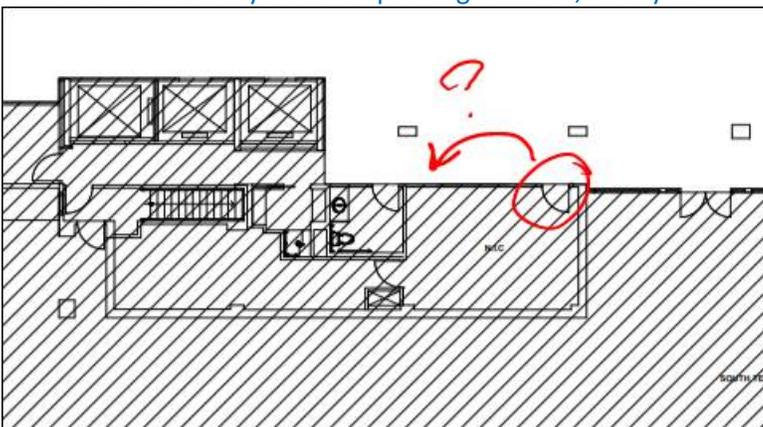
Q: Are we able to change any of the HVAC or make any structural changes?

A: No structural changes may be made. The HVAC is not part of the evaluation for this competition. Students may make any design decisions or assumptions for HVAC.

Q: Are we able to change out existing windows and doors in the building?

A: NO windows may be changed. The only interior door location that may be changed is this one that was stated in a prior answer to Q+A since it opens into a NIC area:

If this is the location you are requesting to move, then yes.



Q: Is the floor plan required to be ADA accessible throughout?

A: ADA is required throughout. Students should also design spaces that provide equal opportunity. An example would be a stadium/tiered seating arrangement wouldn't be ADA accessible; however, there must be an comparable setting that is equal access.

Q: What is the total allowed occupancy load for both floors?

A: Must follow published regulatory codes that can be researched.

Q: It was mentioned in the overview they want to use virtual reality in the future to connect with retailers/customers. Would this be incorporated into one of the meeting rooms/photo studio, or do we need to plan an extra space for it?

A: Yes, this can be included into any of the required spaces as long as those spaces meet their stated requirements as well or you could dedicate a VR space if you have additional space or could be your wildcard space. Full discretion is provided here.

Q: I know the employees bring their own food, should we consider storage for that (such as a fridge) in the work cafe?

A: Yes, a refrigerator would be a good option for the WorkCafe.

Q: The contest information states that the existing staircase has been removed from the floor plan and students need to create a monumental staircase. Does this monumental staircase just need to go between the 7th and 8th floor or do we also need it to go down to exit the building/go to lower floors?

A: Only between the 7th and 8th floors.

Q: Can the structural columns be outfitted with electrical?

A: Yes, if this meets your design criteria

Q: Can we use furnishings that are not Steelcase brand?

A: We ask your students to use products available from the entire collection of Steelcase owned brands as well as all of our partner brands. This is the most extensive collection in the contract furniture industry. If there is a solution your students need that for their design (example – massage table if someone decided to provide a massage room for employees in their “wildcard” space), that is something we do not provide and that would be permitted. However, if the student is selecting something from a competitor to Steelcase (ie: it is a furniture option we have in our collection (including our partner brands) but just a stylistic difference), then we ask it not be selected since we are the sponsor of this competition.

Q: Does a reflected ceiling plan need to be included? Or lighting that is used need to be specified for wellness purposes?

A: It is clearly stated in the “(NEW) 2021 Contest Background and Judging Criteria” document found in the Resources Section of the [NEXT Website](#) (under item number 19. **Submissions must include the following (but not limited to) the following:**

Reflected ceiling plans are (required) for the Work Cafe and Reception areas. Include a legend with ceiling heights identified. Scale: 1/8" = 1'-0" (0.3175cm = 0.3048m).

Q: Do we need to specify what Steelcase , Coalesse, Turnstone, Designtex, and Orange box products we use in the design?

A: Also stated in the “(NEW) 2021 Contest Background and Judging Criteria” document found in the Resources Section of the [NEXT Website](#) (under item number 19. **Submissions must include the following (but not limited to)** is the following:

High quality digital images of furniture, finish materials and lighting selections per area. All selections must be labeled and coded back to the room location. Please place all images, with labels, on a digital board(s).

Consider what best communicates your design decisions and selections. You might review last years semifinalist projects on our next website for inspiration [NEXT Website](#) **However, please note that we are not suggesting this is the only way this can be accomplished.**

Q: Are we allowed to apply materials to the columns and beams?

A: YES, if this meets your design intent. Columns may be covered or left unfinished.

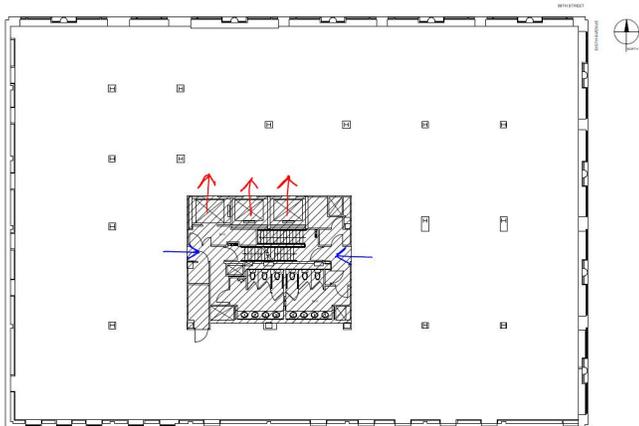
Q: Do we need to account for electrical in the ceiling?

A: NO, not required; however, students are free to do so if they wish.

(ALREADY PUBLISHED): Q+A QUESTIONS + ANSWERS – Questions submitted through September 17, 2021

Q: We are thinking that the (3) elevators open directly onto the 7th floor with a secondary entrance access from the hallway that leads to an exit staircase. We are not sure if this is correct or if there are other considerations that we are not seeing.

A: Yes, the elevators exit directly onto the 7th floor. This is identified by the red arrows. There are two entrances (openings) that lead to doors that provide access to the building staircases. These are identified by the blue arrows.



Q: Does WIFI reach out onto the terraces?

A: Assume yes

Q: Where is the entrance on the 7th floor?

A: Direct access off of elevators

Q: Can we combine spaces (for example, video and photo development, marketing, product development, etc.)?

A: If this meets your design intent and the requirements of the requires spaces, then yes; however, please note, in our feasibility space planning these were planned as separate spaces and the student may be left with a lot of additional unused space.

Q: Do we have to include an HVAC and fire safety plan?

A: No, for this competition, it is not required and we will assume that has been accommodated for; however, if your program requires this for your student projects it can be provided; however, it will not be used for evaluation purposes of reviewing the projects since it isn't required.

Q: Does the other tenant on the 8th floor have access to the 8th-floor outdoor terrace?

A: No, there is no additional tenant on the 8th floor, we merely removed that portion from scope to reduce the amount of SF the students needed to design for this competition.

Q: How much square footage is on each floor? How much does the first floor have? Second floor?

A: This can be calculated by the students for each floor from the AutoCAD and/or Revit files.

Q: Are there any COVID-19 policies enforced that will affect design choices?

A: For the purposes of this competition, assume no. All requirements (and what will be evaluated by the judges) is in the program documents.

Q: Are there any parameters for the Wildcard Space?

A: No requirements other than what is stated and remaining within in all regulatory codes.

Q: What kinds of service does "coffee service" in the Work Cafe entail? Will some workers take your order or a self-serve coffee bar?

A: Self-service.

Q: What exactly is an "HDVC telepresence"?

A: We will not dictate specific use here. This is something that can be researched by students regarding best practice solutions and planning ideas and there are many recommendations from a variety of Steelcase resources.

Q: Is the 8th-floor terrace covered?

A: Not covered.

Q: Are we allowed to drop the ceiling?

A: Yes, if this meets your design intent and meets regulatory codes.

Q: Should seating be spaced out according to Covid standards?

A: For the purposes of this competition, assume no.

Q: Since there is a mother's room, are there other areas that need to be child-friendly?

A: No. This space is intended for nursing mothers that may need to use breast pumps, etc. once they return to work from maternity leave; however, it is not intended to have children present on site.

Q: What types of things are expected to be on the Hospitality counter in the Large meeting space?

A: Catering that is brought in. Self-Serve food items, etc.

Q: Do any of the windows open, and can we change window types for the terrace area.

A: Assume none of the windows are operable and there and the window types may not be changed.

Q: Can we create larger openings for the Terrace area?

A: The openings should remain as they are.

Q: What type of events will typically happen on the terrace?

A: Internal team events, a secondary work zone for employees, events with clients – basically, the same types of activities/events as inside the building with the option to do outside.

Q: Do you have data on the culture, demographics, and diversity of your employees?

A: This is a fictitious client. Students can make any assumptions here that support their design intent and they can attribute their design decisions to support this and the client's stated goals/objectives (in program) for this project.

Q: What does diverse mean to you?

A: For the purposes of this competition, think of diverse as cross-generational, gender neutral, and multi-cultural as well as supporting individuals with different needs (ie: inclusive design).

Q: What do you mean you say to incorporate "power and connective technology" throughout the space?

A: Access to power sources and wireless technology (WiFi) and multiple appliances (devices) throughout the space.

Q: How formal would you like the space to be?

A: No expectations. This is left to the determination of the student to express their creativity.

Q: Will there be children coming into the space/will employees be able to bring their kids to work if they need to be looked after?

A: Childcare is not provided and not part of the program.

Q: Can we add additional spaces that are not required like a daycare or a napping area?

A: If this meets your design intent and it can be supported while also addressing the required spaces, it may be permitted; however, please know there are additional code requirements and needs that must be met/incorporated if a daycare is added.

Q: Can we change the door hardware so that it can be opened with a personal device?

A: Yes. If this meets your design intent and it can be supported while also addressing the required spaces, it may be permitted.

Q: Are we allowed to add extra structural elements such as walls, beams or columns to our design? May we add or change the windows?

A: You may add structural elements as mentioned in the interior and within the contracted space. Windows may not be added or changed.

Q: Are their judgements based on professional vs creative design since this is for an office space? If so, what is preferable?

A: There is no preference here. If students include all of the stated requirements, there is no preference/recommendation on style as that is subjective and each of our professional judges have their own individual preferences.

Q: Is there a budget for this project that we must stick to?

A: No budget has been established for this fictitious client.

Q: Is it assumed that employees are provided laptops or bring their own devices? It was also mentioned that employees are given mobile phones, are we allowed to change this if it collides with our concept?

A: As stated, NEXT employees are provided both (laptops and mobile phones) and that should be considered when planning.

Q: Are there safety precautions we should plan for the cafe? Is it expected that disposable dishes will be used?

A: This is not a traditional cafeteria where dishes and utensils are provided. Occupants will bring their own food; however, disposal of waste should be considered.

Q: Should we include building support spaces such as IT, Mechanical and Electrical rooms?

A: Those are N.I.C. (not in contract). No design needed for these spaces. Be sure to show these NIC spaces in plan.

Q: Are the given SF numbers just a recommendation or do they need to be followed strictly?

A: These are general guidelines and should have minimal deviation.

Q: Is it possible to incorporate all of the Steelcase brands such as Coalesse, Turnstone, Designtex, and Orangebox?

A: Yes, and we encourage students to explore their creativity by leveraging many of our brands.

Q: Can other spaces be added to the program such as Meditative Spaces, etc.?

A: Yes; however, all required must be met first and/or this could be your "wildcard space".

Q: Is it required that the students use Revit, or are they also allowed to use sketchup (with high quality skills and capabilities)?

A: We do not require use of any specific software, including Revit. We added Revit a few years ago in addition to AutoCAD due to high demand as it seems most programs have switched to Revit software and that is also true for design firms as well. The only obligation is to meet the requirements as stated in our in the program documents and judging criteria. How the students achieve this is up to them.

Q: What intra-company communication software/hardware is currently in use?

A: This is a fictitious client. For the purposes of this competition, you are free to make any assumptions on software/hardware is used that meets your design intent.

Q: Is this a dog friendly office?

A: This is a fictitious client. For the purposes of this competition, you are free to make any assumptions that meets your design intent.

Q: Is the work cafe area just seating or do we need counter space for paying/receiving food? It said no food prep, but I am not sure where this falls.

A: You can choose to have a counter; however, it wouldn't be needed for paying/receiving food. Individuals would bring their own food into the space.

Q: What is the business more about, what specific things will employees be working on here?

A: This is a fictitious client. You may make any assumptions outside of what is stated in the program.

Q: What are the restrictions on the building?

A: Unsure of your question. What restrictions are you inquiring about? This location is listed as Class A office space.

Q: Do the employee's day to day tasks involve a lot of over the phone communicating with clients? (audio levels in open office space)?

A: It varies; therefore, we encourage a range of options available for all employees for various work modes.

Q: Can we add in Skylights?

A: No.